

ABUTTERS

Lots 175, 176 & 177/Sheet 110
 Dacey Family Trust
 Michael Joseph Dacey Trustee
 29 Dane Street
 Nashua, NH 03064
 Acct. No. 8518
 Bk. 5476/Pg. 1828

Lot 106/Sheet 110
 Pichinda Phuan
 Savannarady Kea
 31 Dane Street
 Nashua, NH 03060
 Acct. No. 52151
 Bk. 9303/Pg. 1381

Lot 180/Sheet 110
 Mary E. Gouci
 25 Dane Street
 Nashua, NH 03060-5804
 Acct. No. 20584
 Bk. 5826/Pg. 692

Lot 170/Sheet 110
 Barbara E. Van
 4 Ordway Avenue
 Nashua, NH 03080-5827
 Acct. No. 6406
 Bk. 8318/Pg. 2487

Lot 152/Sheet 111
 Marianne J. Tule
 Tod Davis
 18 Herrick Street
 Nashua, NH 03060-2880
 Acct. No. 33622
 Bk. 7322/Pg. 784

Lot 110/Sheet 111
 Matthew & Jennifer Mitchell
 51 Robinson Road
 Nashua, NH 03060
 Acct. No. 30264
 Bk. 9367/Pg. 2820

Lot 165/Sheet 110
 Robert Jr. & Brenda J. Gabriel
 28 Hatch Street
 Nashua, NH 03060-5856
 Acct. No. 30878
 Bk. 4320/Pg. 272

Lot 164/Sheet 110
 Lucia & Malvina B. Thibodeau
 26 Dane Street
 Nashua, NH 03060
 Acct. No. 22882
 Bk. 9169/Pg. 1134

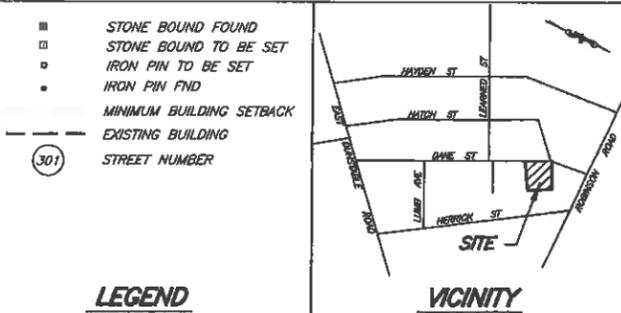
Lot 159/Sheet 110
 Linda Marie Dacey
 24 Learned Street
 Nashua, NH 03060-5882
 Acct. No. 28788
 Bk. 8328/Pg. 2038

Option Holder:
 Dan Bergeron Building & Development Inc.
 78 Hills Ferry Road
 Nashua, NH 03064

Engineer/Surveyor:
 Maynard & Paquette Eng. Assoc., LLC
 31 Quinoy Street
 Nashua, NH 03060

PLAN REFERENCES:

- 1) PLAN OF LAND OF J.A. SPALDING, MAIN STREET, NASHUA, NH SCALE: 1"=100', DATED: AUGUST 1892; BY: A. SAUNDERS C.E. H.C.R.D. NO. 145
- 2) SUBDIVISION PLAN, TAX MAP 110/LOT 173, 31 DANE STREET NASHUA, NH; FOR: RAISANEN HOMES ELITE, LLC.; BY: FIELDSTONE LAND CONSULTANTS, PLLC; SCALE: 1"=20'; DATED: JUNE 23, 2016 H.C.R.D. NO. 39048



LEGEND

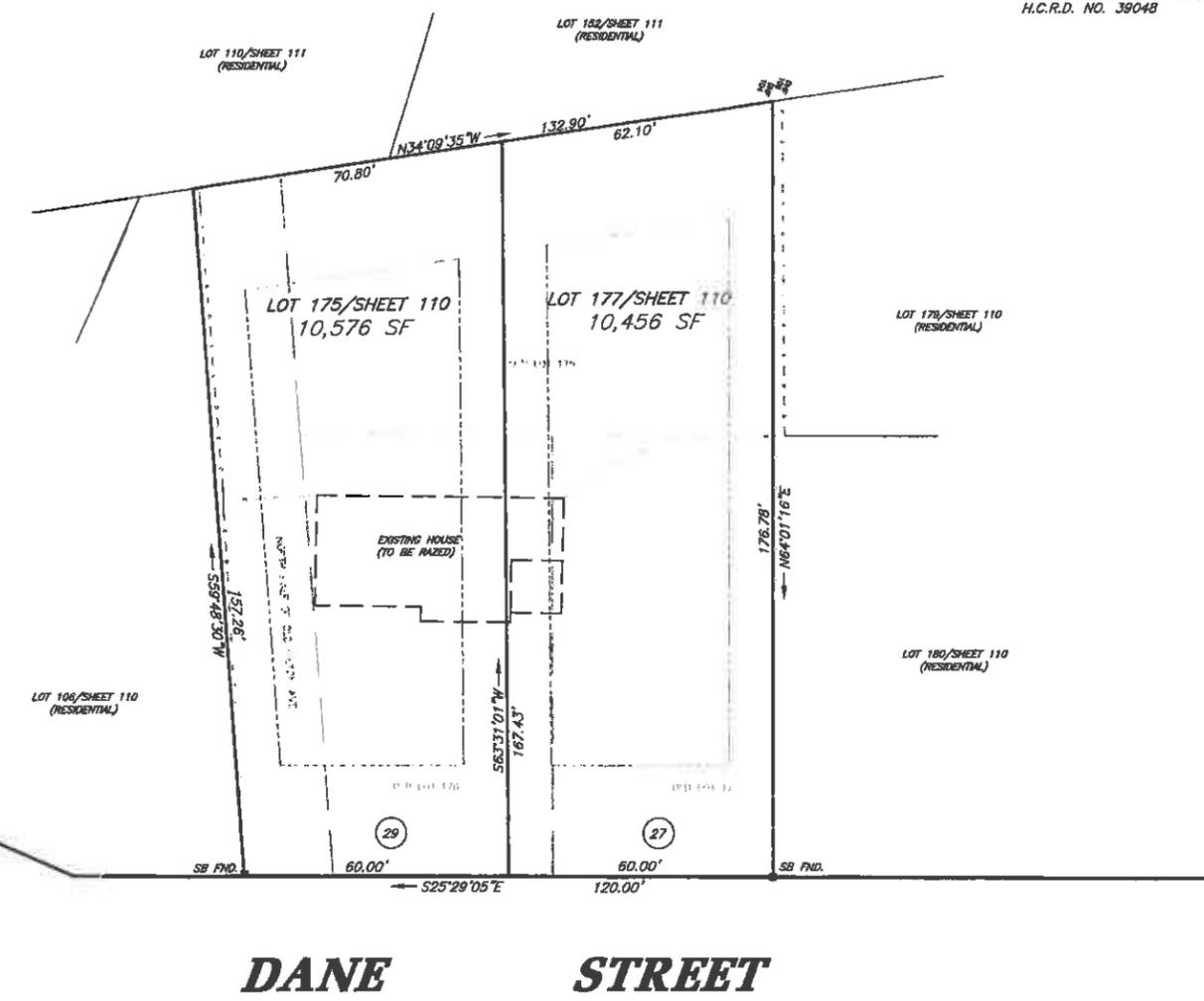
- STONE BOUND FOUND
- STONE BOUND TO BE SET
- IRON PIN TO BE SET
- IRON PIN FND
- MINIMUM BUILDING SETBACK
- - - EXISTING BUILDING
- STREET NUMBER

NOTES:

1. PRESENT ZONING: "RA" RESIDENTIAL
2. TOTAL LOT AREA: 21,032 SF
3. EXISTING USE: RESIDENTIAL
4. PROPOSED USE: RESIDENTIAL
5. THE PURPOSE OF THIS PLAN IS TO RELOCATE THE LOT LINES BETWEEN LOTS 175, 176 & 177/SHEET 110.
6. AREAS OF EXCHANGE:

LOT	OLD AREA	NEW AREA	AREA OF EXCHANGE
175	5,388 SF	10,576 SF	+5,208 SF
176	7,497 SF	0 SF	-7,497 SF
177	5,000 SF	10,456 SF	+5,456 SF
ROW	3,167 SF	0 SF	-3,167 SF
	21,032 SF	21,032 SF	0 SF
7. DIMENSIONAL REQUIREMENTS:

	LOT 175	LOT 176	LOT 177
SINGLE FAMILY - "RA"			
MINIMUM LOT AREA - 7,500 SF	10,456 SF	10,576 SF	10,576 SF
FRONT YARD SETBACK - 25 FEET	25 FT. MIN.	25 FT. MIN.	25 FT. MIN.
SIDE YARD SETBACK - 10 FEET	10 FT. MIN.	10 FT. MIN.	10 FT. MIN.
REAR YARD SETBACK - 25 FEET	25 FT. MIN.	25 FT. MIN.	25 FT. MIN.
MIN. OPEN SPACE - 50% MIN.	50% MIN.	50% MIN.	50% MIN.
MIN. LOT WIDTH - 75 FEET	61.84 FT.	60.22 FT.	60.22 FT.
MIN. LOT DEPTH - 60 FEET	182 FT.	172 FT.	172 FT.
MIN. LOT FRONTAGE - 30 FEET	80 FT.	80 FT.	80 FT.
8. LOT IS SERVICED BY MUNICIPAL SEWER AND PENNINGTUCK WATER WORKS.
9. PLAN COMPLES WITH MINIMUM REQUIREMENTS.
10. FUTURE BUILDING CONSTRUCTION SHALL INCORPORATE FOUNDATION DRAINAGE SYSTEMS EXCEPT WHERE AN INVESTIGATION ESTABLISHES THAT SPECIFIC BUILDING SITES ARE LOCATED IN WELL DRAINED SOILS AND THAT SUCH SYSTEMS ARE NOT REQUIRED.
11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING AND DETERMINING THE LOCATION, SIZE AND ELEVATIONS OF ALL EXISTING UTILITIES SHOWN OR NOT SHOWN ON THIS PLAN PRIOR TO THE START OF ANY CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION, AND APPROPRIATE REMEDIAL ACTION SHALL BE TAKEN PRIOR TO PROCEEDING WITH THE WORK.
12. THE SITE IS LOCATED WITHIN ZONE X, OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOOD PLAIN, PER F.L.R.M. COMMUNITY MAP NUMBER 3301100852, EFFECTIVE DATE: APRIL 18, 2011.
13. FOR EXISTING AND PROPOSED ON-SITE/OFF-SITE FEATURES, SEE EXISTING CONDITIONS PLAN, SHEET 2, SHEET 1 TO BE RECORDED AT THE H.C.R.D.
14. SHEET 1 TO BE RECORDED AT THE H.C.R.D.
15. PARKING REQUIRED: 2 SPACES PER LOT
PARKING PROPOSED: 2 SPACES
16. UTILITIES INCLUDING ALL ELECTRIC, TELEPHONE, CABLE TELEVISION, AND OTHER COMMUNICATION LINES, BOTH MAIN AND SERVICE CONNECTIONS, SERVICING NEW DEVELOPMENTS SHALL BE PROVIDED BY OVERHEAD WIRING, PER MAJOR REQUEST.
17. THE PROPOSED DRIVEWAY SHALL MEET SITE DISTANCE REQUIREMENTS PER SECTION 190-208 OF THE CITY OF NASHUA ZONING REGULATIONS.
18. STREET RESTORATION SHALL BE IN ACCORDANCE WITH CHAPTER 285 DIVISION 13 ARTICLE 8 OF THE CITY OF NASHUA ORDINANCES. ALL WORK WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE COMPLETED TO THE SATISFACTION OF THE DIVISION OF PUBLIC WORKS (NO NEW PUBLIC R.O.W.'S PROPOSED).
19. EROSION CONTROL MEASURES (SILT FENCE SCREENING) SHALL BE INSTALLED ALONG DOWN GRADIENT SLOPES PRIOR TO INITIATION OF ANY WORK AND SHALL BE MAINTAINED BY THE DEVELOPER UNTIL ADEQUATE VEGETATIVE COVER HAS BEEN ESTABLISHED ON ALL GRADED AREAS.
20. THERE ARE NO WETLANDS ON THE SITE.
21. A BUILDING PERMIT PLAN AND A DRIVEWAY PLAN WITH PROPOSED SITE GRADING AND DRAINAGE SHALL BE APPROVED BY THE ENGINEERING DEPT. PRIOR TO ISSUANCE OF A BUILDING PERMIT FOR A SINGLE FAMILY HOME, THE STANDARD STORM WATER LETTER SHALL ALSO BE SUBMITTED AT THIS TIME.
22. ALL STREET AND UTILITY IMPROVEMENTS WILL BE COMPLETED TO THE SATISFACTION OF THE CITY OF NASHUA PLANNING AND ENGINEERING DEPARTMENTS.
23. BOND OR OTHER FORM OF SECURITY IS REQUIRED FOR PROPOSED PUBLIC IMPROVEMENTS (ROAD & SIDEWALK) OR UTILITY EXTENSIONS.
24. ON MARCH 23, 2021 THE NASHUA ZONING BOARD OF ADJUSTMENT GRANTED THE FOLLOWING WAIVERS: THE REQUEST FOR A WAIVER OF 190-16, TABLE 16-3, 1) FOR MINIMUM LOT WIDTH FOR LOT "A", 75 FEET REQUIRED, 61.84 FEET PROPOSED; AND 2) FOR MINIMUM LOT WIDTH FOR LOT "B", 75 FEET REQUIRED, 60.22 FEET PROPOSED.



DANE STREET

HATCH STREET

LOT LINE RELOCATION/CONSOLIDATION PLAN - LOTS 175, 176 & 177/SHEET 110

**29 DANE STREET
 NASHUA, NEW HAMPSHIRE**

PREPARED FOR:
 APPLICANT/OPTION HOLDER: DAN BERGERON BUILDING & DEVELOPMENT, INC.
 78 HILLS FERRY ROAD
 NASHUA, NH 03064
 PHONE NO. (803) 438-3108

OWNER:
 DACEY FAMILY TRUST
 MICHAEL JOSEPH DACEY TRUSTEE
 29 DANE STREET
 NASHUA, NH 03060-5804

SCALE: 1" = 20' DATE: APRIL 5, 2021

Engineering Associates, LLC
 Consulting Engineers and Land Surveyors
 31 Quinoy Street, Nashua, N.H. 03060
 Phone: (603)883-8433 Fax: (603)883-7227

APPROVED BY THE CITY OF NASHUA PLANNING BOARD

SECRETARY	DATE
CHAIRMAN	DATE

Dan Bergeron 4/7/21
 DAN BERGERON BUILDING & DEVELOPMENT, INC. DATE

Michael Joseph Dacey 4/7/21
 DACEY FAMILY TRUST DATE

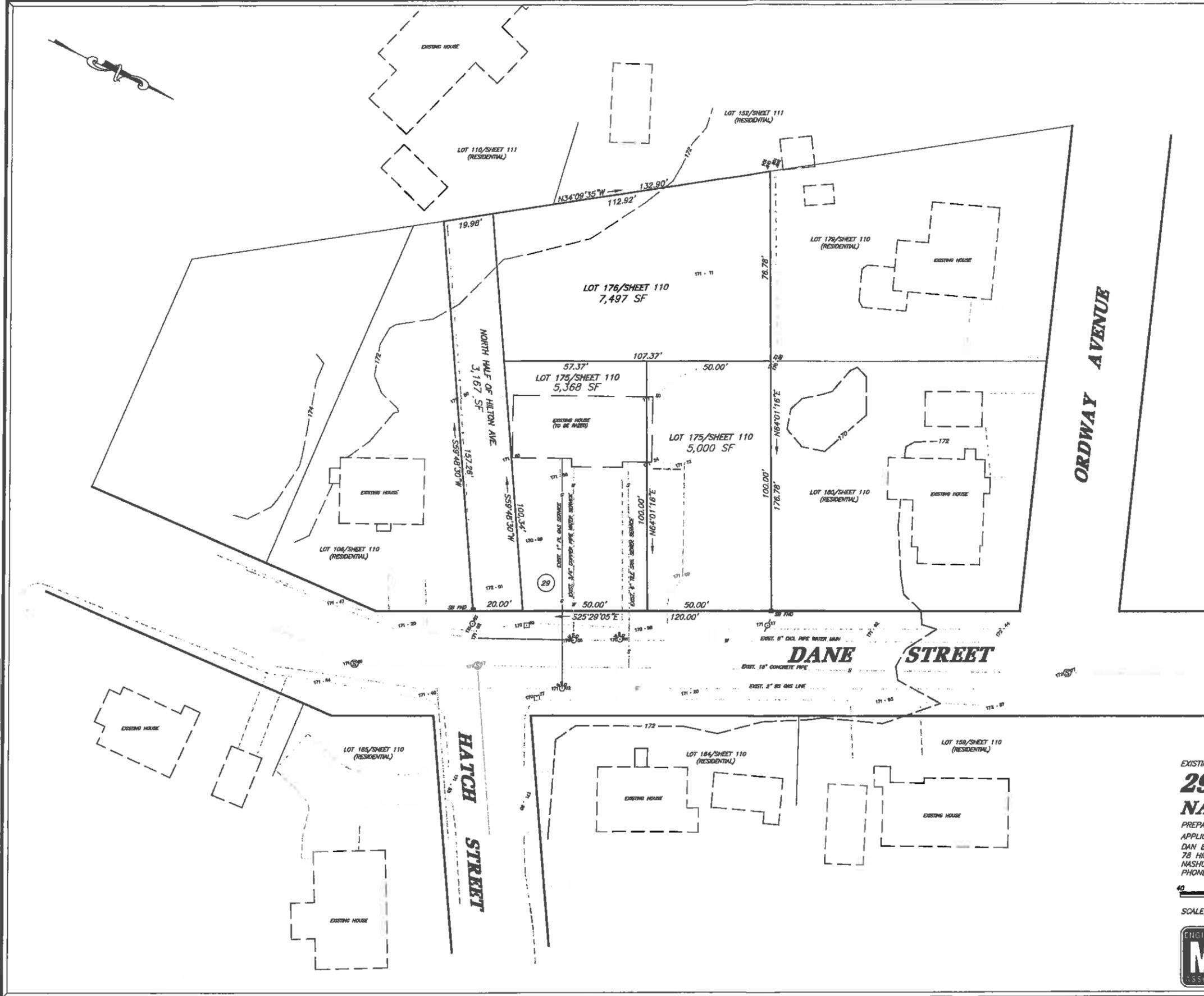
I CERTIFY THAT THIS PLAN WAS PREPARED FROM BOUNDARY INFORMATION SHOWN ON PLAN REFERENCES 1 AND A FIELD SURVEY MADE ON THE GROUND IN MARCH 2021 HAVING A MAXIMUM ERROR OF CLOSURE OF 1:10,000.

NO.	DATE	REVISIONS PER 5/5/21 PLANNING DEPT. COMMENTS	APP BY

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 MAYNARD & PAQUETTE ENGINEERING ASSOCIATES, LLC
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■ STONE BOUND FOUND
 □ STONE BOUND TO BE SET
 ○ IRON PIN TO BE SET
 ● IRON PIN FND
 - - - MINIMUM BUILDING SETBACK
 - - - EXISTING BUILDING
 (301) STREET NUMBER

LEGEND



NO CHANGES THIS TO THIS SHEET	APB	BY
REVISION		
5/2/21		
DATE		
1		
NO.		

EXISTING CONDITIONS PLAN - LOTS 175, 176 & 177/SHEET 110

29 DANE STREET

NASHUA, NEW HAMPSHIRE

PREPARED FOR:
 APPLICANT/OPTION HOLDER:
 DAN BERGERON BUILDING & DEVELOPMENT, INC.
 78 HILLS FERRY ROAD
 NASHUA, NH 03064
 PHONE NO. (603) 438-3108

OWNER:
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 29 DANE STREET
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SCALE: 1" = 20'
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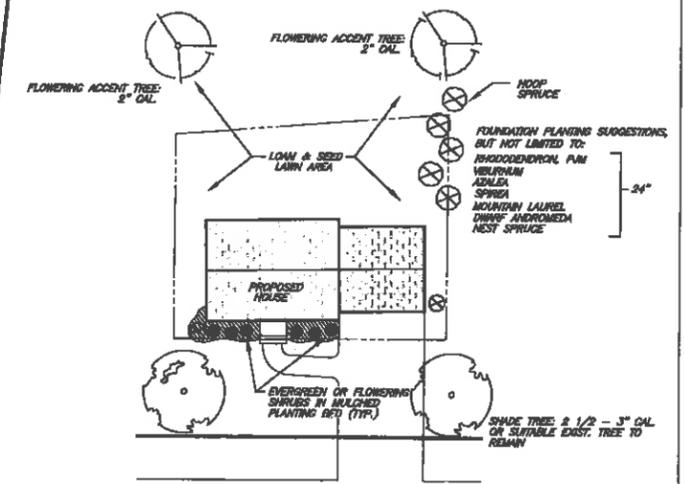
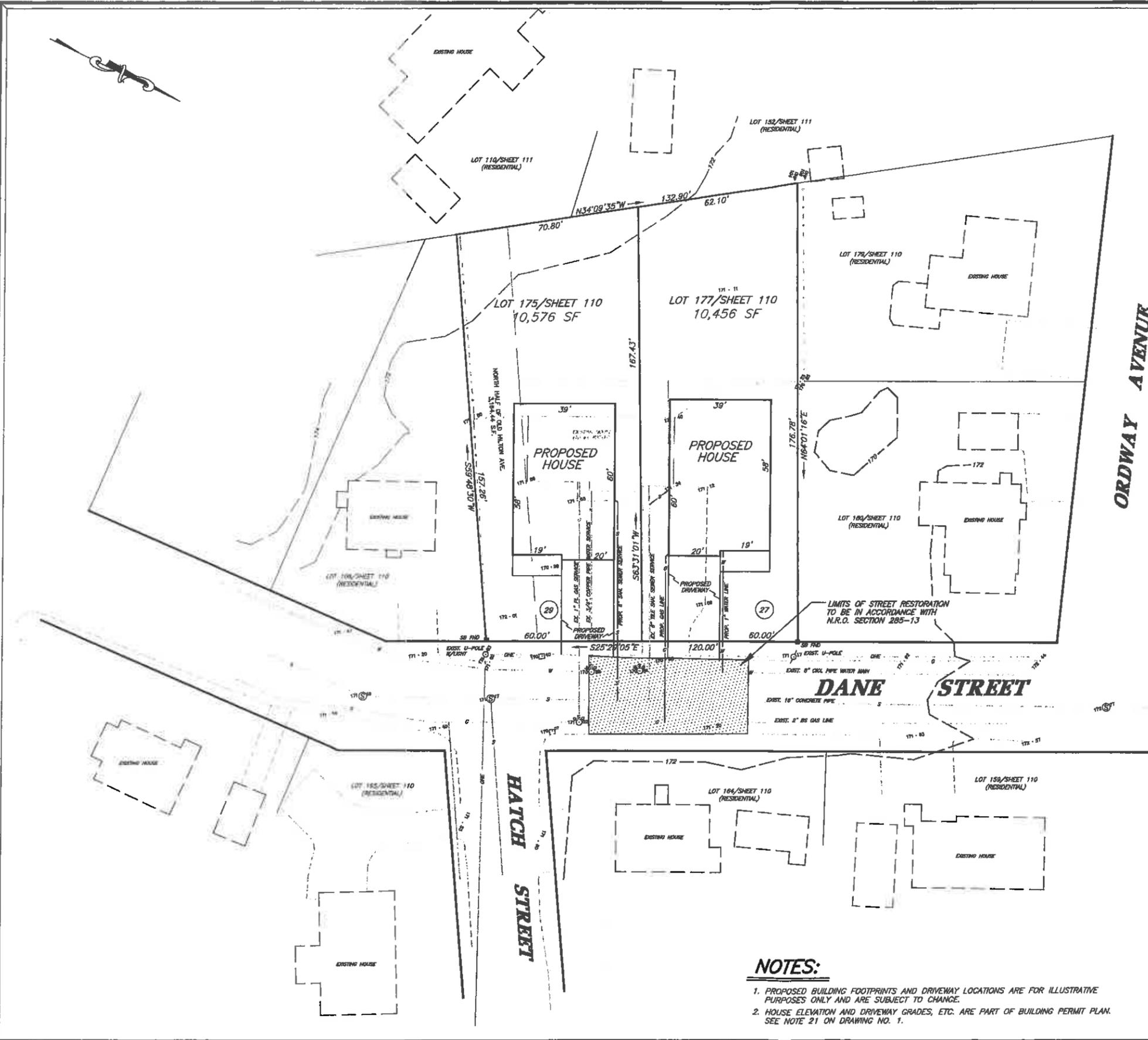
ENGINEER

Maynard & Paquette
 Engineering Associates, LLC
 Consulting Engineers and Land Surveyors
 31 Quincy Street, Nashua, N.H. 03080
 Phone: (603)883-8493 Fax: (603)883-7227

KPM	APB					D	12639
DESIGNED	DRAWN	CHECKED	APPROVED	BOOK & PAGE	REVISION	SIZE	JOB NUMBER

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- STONE BOUND FOUND
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 - MINIMUM BUILDING SETBACK
 - - - EXISTING BUILDING
 - (301) STREET NUMBER
- LEGEND**



- TYPICAL INDIVIDUAL LOT LANDSCAPE PLAN**
N.T.S.
1. PROPOSED BUILDING FOOTPRINTS, DRIVEWAY LOCATIONS & FOUNDATION PLANTINGS ARE FOR ILLUSTRATIVE PURPOSES ONLY AND ARE SUBJECT TO CHANGE ON A LOT BY LOT BASIS.
 2. 1 SHADE TREE REQUIRED PER FORTY (40) LINEAR FEET OF FRONTAGE OR TWO (2) ORNAMENTAL TREES FOR 1 SHADE TREE PER SECTION 190-185(B) OF THE NASHUA LAND USE CODE.
 3. TYPICAL INDIVIDUAL LOT LANDSCAPE PLAN IS FOR PROPOSED BUILDING LOT ONLY. LANDSCAPING ON EXISTING BUILDING LOT(S) TO REMAIN.

GRADING PLAN - LOTS 175, 176 & 177/SHEET 110
29 DANE STREET
NASHUA, NEW HAMPSHIRE

PREPARED FOR:
 APPLICANT/OPTION HOLDER:
 DAN BERGERON BUILDING & DEVELOPMENT, INC.
 78 HILLS FERRY ROAD
 NASHUA, NH 03064
 PHONE NO. (603) 438-3108

OWNER:
 DACEY FAMILY TRUST
 MICHAEL JOSEPH DACEY TRUSTEE
 29 DANE STREET
 NASHUA, NH 03080-5804

SCALE: 1" = 20'
 DATE: APRIL 5, 2021

ENGINEERING
MP
ASSOCIATES

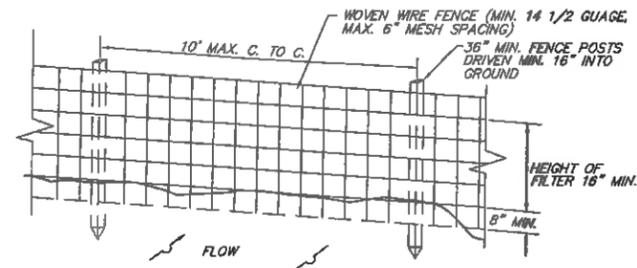
Maynard & Paquette
Engineering Associates, LLC
 Consulting Engineers and Land Surveyors
 31 Quincy Street, Nashua, N.H. 03080
 Phone: (603)863-8433 Fax: (603)863-7227

- NOTES:**
1. PROPOSED BUILDING FOOTPRINTS AND DRIVEWAY LOCATIONS ARE FOR ILLUSTRATIVE PURPOSES ONLY AND ARE SUBJECT TO CHANGE.
 2. HOUSE ELEVATION AND DRIVEWAY GRADES, ETC. ARE PART OF BUILDING PERMIT PLAN. SEE NOTE 21 ON DRAWING NO. 1.

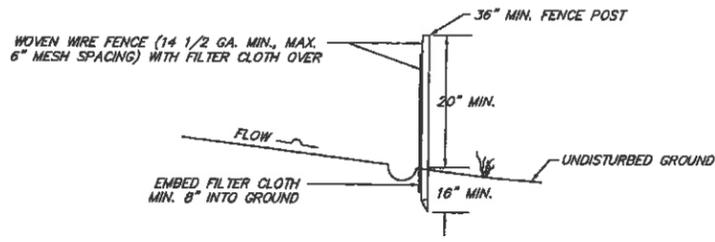
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 DWG. NO. 3 OF 4



PERSPECTIVE VIEW



SECTION VIEW

TYPICAL SILT FENCE DETAIL

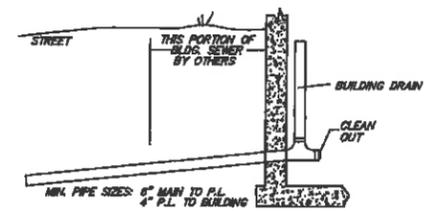
N.T.S.

CONSTRUCTION NOTES FOR FABRICATED SILT FENCE

1. WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES.
2. FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24 INCHES AT TOP AND MID-SECTION.
3. WHERE TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER, THEY SHALL BE OVERLAPPED BY 6 INCHES AND FOLDED TOGETHER.
4. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.

INSTALLATION PROCEDURE

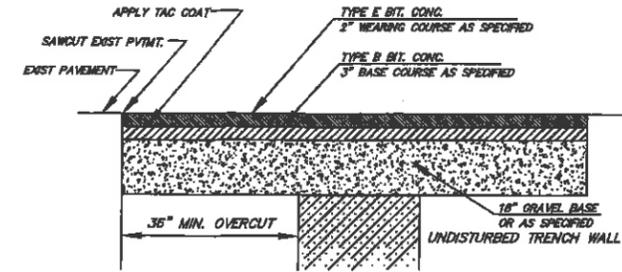
1. LAY OUT A SUITABLE FENCE LINE AND SET POSTS ALONG IT. ON SLOPES, ALIGN THE FENCE ALONG THE CONTOUR AS CLOSELY AS POSSIBLE. IN SMALL SWALES, CURVE THE FENCE LINE UPSTREAM AT THE SIDES TO DIRECT THE FLOW TOWARD THE MIDDLE OF THE FENCE. THE SIDES SHOULD BE HIGHER THAN THE CENTER. SPACE POSTS A MAXIMUM OF 10 FEET APART AND DRIVE THEM AT LEAST 12 INCHES INTO THE GROUND. WHEN EXTRA STRENGTH FABRIC IS USED WITHOUT THE WIRE SUPPORT FENCE, POST SPACING MUST NOT EXCEED 6 FEET. POSTS FOR SILT FENCES CAN BE EITHER 4 INCH # WOOD OR 1.33 LB/FT STEEL WITH A MINIMUM LENGTH OF FIVE FEET. STEEL POSTS HAVE PROJECTIONS FOR FASTENING WIRE TO THEM. EXCAVATE A TRENCH APPROXIMATELY 4 INCHES WIDE AND 4 INCHES DEEP ALONG THE LINE OF POSTS AND UPSLOPE FROM THE BARRIER.
2. FASTEN WIRE MESH SECURELY TO THE UPSLOPE SIDE OF THE POSTS. USE HEAVY-DUTY WIRE STAPLES AT LEAST 1 INCH LONG TO TIE THE WIRES OR HOG RINGS. EXTEND THE WIRE 6 INCHES INTO THE TRENCH. WIRE FENCE REINFORCEMENT FOR SILT FENCES MUST BE A MINIMUM OF 42 INCHES WIDE, BE A MINIMUM OF 14 GAUGE, AND HAVE A MAXIMUM MESH SPACING OF 6 INCHES. THE 42 INCH LENGTH IS NEEDED SO THAT 6 INCHES CAN BE EXTENDED INTO THE TRENCH AND LEAVE A 36 INCH SUPPORT FENCE ABOVE THE GROUND. WHEN EXTRA-STRENGTH FABRIC IS USED AND FENCE POSTS ARE MORE CLOSELY SPACED, THE WIRE MESH CAN BE OMITTED.
3. FASTEN THE FILTER FABRIC TO THE UPSLOPE SIDE OF THE FENCE POSTS AND EXTEND IT 6 TO 8 INCHES INTO THE TRENCH. THE HEIGHT OF THE FENCE SHOULD NOT EXCEED 36 INCHES. DO NOT STAPLE FABRIC ONTO TREES. CUT THE FILTER FABRIC FROM A CONTINUOUS ROLL TO AVOID THE USE OF JOINTS. WHEN JOINTS ARE NECESSARY, SPLICE THE FILTER CLOTH AT A SUPPORT POST, WITH A MINIMUM 6 INCH OVERLAP, AND SECURELY FASTEN BOTH ENDS TO THE POST.
4. BACKFILL THE TRENCH OVER THE TOP OF THE FABRIC AND COMPACT THE SOIL.



- NOTES: 1. BLDG. SEWER MAY ALSO BE LOCATED BELOW BASEMENT FLOOR WHEN REQUIRED.
2. MINIMUM SLOPE FROM MAIN TO PROPERTY LINE = 2%

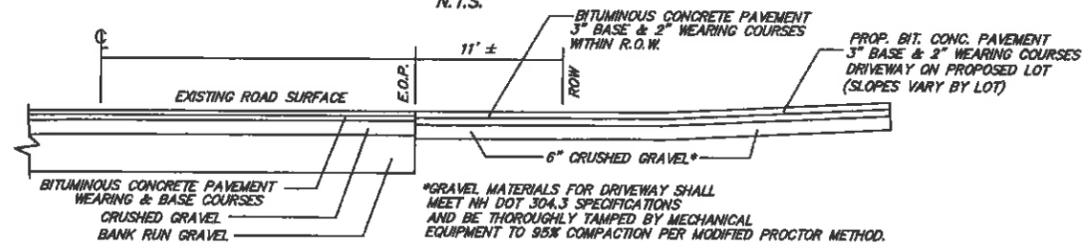
SEWER SERVICE CONNECTION

N.T.S.



PAVEMENT PATCH DETAIL

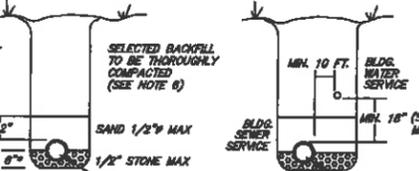
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TYPICAL DRIVEWAY SECTION

N.T.S.

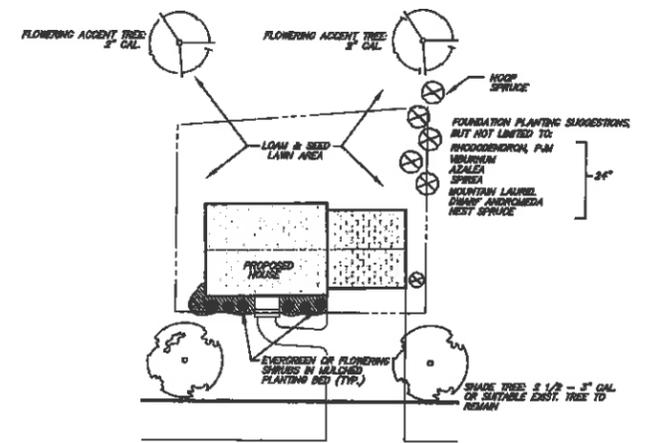
- NOTES: SERVICE CONNECTION IN EXISTING PAVED PUBLIC ROW
- 1.0 GENERAL
 - 1.1 CONTRACTOR IS RESPONSIBLE TO MAKE ALL PROPER NOTIFICATIONS TO UTILITIES AND OBTAIN REQUIRED PERMITS FROM GOVERNMENTAL AUTHORITIES IN CHARGE OF THE PUBLIC RIGHT OF WAY TO BE DISTURBED PRIOR TO START OF CONSTRUCTION.
 - 2.0 CUTTING AND REMOVING PAVEMENT
 - 2.1 PAVEMENT AHEAD OF THE EXCAVATION SHALL BE SAW CUT BEFORE BREAKING AND REMOVING IT WITHIN THE EXCAVATION LIMITS.
 - 2.2 SAWING AND PAVEMENT REMOVAL SHALL BE DONE SO AS TO PRODUCE CLEAN, UNIFORM, VERTICAL EDGES WITHOUT DAMAGE TO THE REMAINING PAVEMENT AND/OR UNDERMINING BY TRENCH EXCAVATION.
 - 3.0 TRENCH EXCAVATION
 - 3.1 THE CONTRACTOR SHALL FURNISH, PUT IN PLACE, AND MAINTAIN SHIELDING AND BRACING IF REQUIRED TO SUPPORT THE SIDES OF THE EXCAVATION TO PREVENT LOSS OF GROUND WHICH COULD CAUSE DAMAGE OR DELAY WORK OR ENDANGER ADJACENT STRUCTURES OR CAUSE UNDERMINING OF EXISTING PAVEMENT.
 - 3.2 ALL APPROPRIATE STEPS SHALL BE TAKEN BY CONTRACTOR TO DETAILER THE TRENCH.
 - 4.0 PIPE INSTALLATION AND BEDDING
 - 4.1 REFER TO PLANS FOR SIZE AND MATERIAL OF PIPE AND STANDARD TRENCH SECTION DETAIL FOR BEDDING.
 - 5.0 BACKFILL
 - 5.1 AS SOON AS PRACTICABLE AFTER THE PIPE HAS BEEN LAID, JOINTED, PROPERLY BEDDED (AND TESTED, IF REQUIRED) BACKFILLING SHALL BEGIN AND THEREAFTER BE PROSECUTED EXPEDITIOUSLY.
 - 5.2 BACKFILL OF THE REMAINDER OF THE TRENCH TO BE IN ACCORDANCE WITH THE STANDARD TRENCH SECTION DETAIL.
 - 6.0 PAVEMENT REPLACEMENT
 - 6.1 NO PERMANENT PAVEMENT SHALL BE PLACED OVER A BACKFILLED TRENCH WITHIN 60 DAYS AFTER COMPACTION OF THE BACKFILLING UNLESS PERMITTED TO DO SO IN WRITING BY THE TOWN/CITY ENGINEER. REPAIRING MAY BE DELAYED FOR A LONGER TIME IF THE TOWN/CITY ENGINEER SO DIRECTS.
 - 6.2 CONTRACTOR SHALL BE RESPONSIBLE TO OBTAIN APPROVAL OF QUALIFIED FACILITY TO SUPPLY PERMANENT BITUMINOUS PAVEMENT MIXTURE, FROM TOWN/CITY ENGINEER PRIOR TO START OF PAVEMENT REPLACEMENT.
 - 6.3 THE PERMANENT PAVEMENT SHALL CONSIST OF A 3 INCH BASE COURSE OF TYPE B AND 2 INCH COURSE OF TYPE E HOT BITUMINOUS PAVEMENT MIXTURE LISTED BELOW.
- | SIEVE SIZE | TYPE B | | TYPE E | |
|------------|--------|---------------|--------|---------------|
| | MIN | DESIRABLE MAX | MIN | DESIRABLE MAX |
| 3/4" | 85 | 100 | 85 | 100 |
| 1/2" | 70 | 85 | 65 | 80 |
| 3/8" | 50 | 65 | 45 | 60 |
| NO.4 | 42 | 50 | 38 | 48 |
| NO.10 | 28 | 32 | 24 | 28 |
| NO.20 | 16 | 20 | 14 | 18 |
| NO.40 | 8 | 12 | 7 | 10 |
| NO.80 | 3 | 5 | 2 | 3 |
| NO.200 | 0 | 0 | 0 | 0 |
- ASPHALT CEMENT: 4.8 5.25 6.0 6.0 6.4 7.0
% OF MIX
- 6.4 IMMEDIATELY PRIOR TO LAYING THE BINDER AND WEARING COURSES, TRIMMED EDGES SHALL BE STABLE AND UNDEFORMED, FREE OF LOOSE OR BROKEN PIECES AND ALL EDGES SHALL BE THOROUGHLY BROOMED AND COATED WITH AN ASPHALT TACK COAT. BROOM THE ENTIRE BINDER COURSE PRIOR TO LAYING WEARING COURSE.
 - 6.5 THE WEARING COURSE SHALL BE ROLLED UNTIL THOROUGHLY COMPACTED BY A ROLLER WEIGHING APPROXIMATELY 10 TONS, BUT NOT HEAVY ENOUGH TO DAMAGE THE EXISTING ADJACENT PAVEMENT.



- 10.0 BEDDING: SHALL BE 1/2" STONE FREE FROM CLAY, LOAM, ORGANIC MATTER AND MEETING SPECIFICATIONS BELOW:
CRUSHED STONE GRADING (ASTM C575 STONE SIZE NO. 5)
100% PASSING 1 1/2 INCH SCREEN
90-100% PASSING 1 INCH SCREEN
40-70% PASSING 3/4 INCH SCREEN
15-30% PASSING 1/2 INCH SCREEN
0-10% PASSING 3/8 INCH SCREEN
0-5% PASSING NO.4 SIEVE
- WHERE ORDERED BY THE ENGINEER TO STABILIZE THE BASE, CRUSHED STONE 1/2 TO 1-1/2 INCH SHALL BE USED.
- 11.0 LOCATION: THE LOCATION OF THE TEE OR WYE - NOT APPLICABLE TO THIS PROJECT.
 - 12.0 CONCRETE: FOR MANHOLE SECTIONS SHALL HAVE MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3000 PSI AND MEET THE FOLLOWING SPECIFICATIONS:
CEMENT: 6.5 BAGS PER CUBIC YARD
WATER: 5.25 GALLONS PER BAG OF CEMENT
MAXIMUM SIZE OF AGGREGATE: 1 INCH
 - 13.0 CHIMNEYS: - NOT APPLICABLE TO THIS PROJECT.

SEWER SERVICE CONNECTIONS

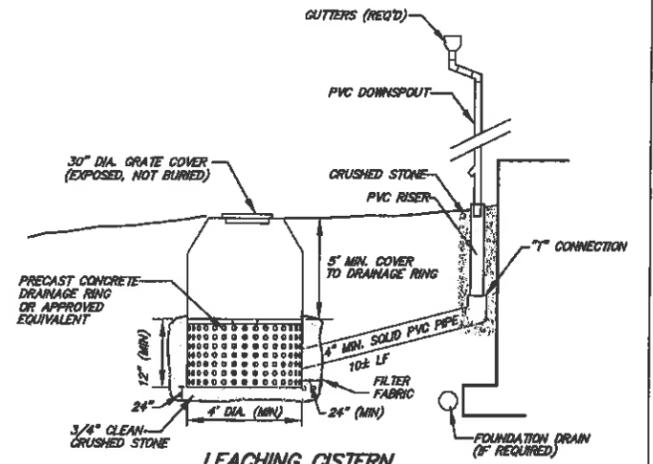
N.T.S.



TYPICAL INDIVIDUAL LOT LANDSCAPE PLAN

N.T.S.

1. PROPOSED BUILDING FOOTPRINTS, DRIVEWAY LOCATIONS & FOUNDATION PLANTINGS ARE FOR ILLUSTRATIVE PURPOSES ONLY AND ARE SUBJECT TO CHANGE ON A LOT BY LOT BASIS.
2. 1 SHADE TREE REQUIRED PER FORTY (40) LINEAR FEET OF FRONTAGE OR TWO (2) ORNAMENTAL TREES FOR 1 SHADE TREE PER SECTION 100-100(B) OF THE NASHUA LAND USE CODE.
3. TYPICAL INDIVIDUAL LOT LANDSCAPE PLAN IS FOR PROPOSED BUILDING LOT ONLY. LANDSCAPING ON EXISTING BUILDING LOT(S) TO REMAIN.



LEACHING CISTERN RESIDENTIAL GROUNDWATER RECHARGE SYSTEM

N.T.S.

(FOR NEW CONSTRUCTION ONLY)

DETAIL SHEET - LOTS 175, 176 & 177/SHEET 110

29 DANE STREET NASHUA, NEW HAMPSHIRE

PREPARED FOR:
APPLICANT/OPTION HOLDER:
DAN BERGERON BUILDING & DEVELOPMENT, INC.
78 HILLS FERRY ROAD
NASHUA, NH 03064
PHONE NO. (603) 438-3108

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